

SURF MAINTENANCE SUPPORT FACILITY

630 E SUMMIT STREET
LEAD, SOUTH DAKOTA 57754

GENERAL NOTES

- ALL DIMENSIONS OF NEW CONSTRUCTION ARE TO FACE OF STUD OR CENTER OF WINDOW UNLESS NOTED OTHERWISE. ALL DIMENSIONS OF EXISTING CONSTRUCTION ARE TO THE FACE OF EXISTING FINISHED SURFACE UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE PROJECT AS PART OF THE CONTRACT.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- GENERAL CONTRACTOR SHALL PROVIDE A COMPLETE AND PROPER EXECUTION OF THE WORK AS INDICATED ON ALL DRAWINGS. IF ERRORS IN LAYOUT DIMENSIONS OR DETAILS ARE FOUND BETWEEN ARCHITECTURAL, MECHANICAL, OR ELECTRICAL DRAWINGS, CONTACT THE ARCHITECT IMMEDIATELY.
- GENERAL CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO COORDINATE WITH THE OWNER'S WORK AND/OR SUPPLIED ITEMS THAT ARE "OWNER FURNISHED CONTRACTOR INSTALLED" (O.F.C.I.) OR ARE "NOT IN CONTRACT" (N.I.C.) BUT ARE ATTACHED TO THE CONTRACTOR'S WORK.
- CONTRACTOR TO PROVIDE ALL BLOCKING, FRAMING, OR BRACING FOR WALL / CEILING MOUNTED EQUIPMENT, FIXTURES, AND HARDWARE (IN CONTRACT, O.F.C.I., OR N.I.C.).
- ALL LARGER SCALE DRAWINGS AND DETAILS GOVERN OR SUPERSEDE ALL SMALLER SCALE DRAWINGS AND DETAILS.
- PROVIDE SOLID WOOD BLOCKING AT ALL WALL STOP LOCATIONS.
- COVER ALL EXPOSED WOOD IN PROJECT WITH MINIMUM 5/8" GYPSUM BOARD TO ALLOW FOR OPEN PLENUM HVAC SYSTEM.
- EACH CONTRACTOR AND SUB-CONTRACTOR OR TRADE IS REQUIRED TO REVIEW THE CONSTRUCTION DOCUMENTS AS A WHOLE, INCLUDING ALL OTHER TRADES DRAWINGS AND PROVIDE ANY MSG., ITEMS, MATERIALS, WORK, ETC. REQUIRED TO COMPLETE THE WORK AS SHOWN ON ALL DOCUMENTS. THIS REQUIREMENT APPLIES TO ALL TRADES. GENERAL CONSTRUCTION, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, EQUIPMENT VENDORS, ETC. REQUIREMENTS AND RELATED WORK ARE INDICATED THROUGHOUT THE DOCUMENTS AND SHOULD BE REVIEWED WITH THE SPECIFIC MEP, STRUCTURAL, ARCHITECTURAL, AND EQUIPMENT DRAWINGS FOR OVERALL SCOPE OF WORK.

BUILDING DATA

OWNER: SOUTH DAKOTA SCIENCE AND TECHNOLOGY AUTHORITY
PROJECT ADDRESS: 630 EAST SUMMIT STREET, LEAD, SOUTH DAKOTA 57784
BUILDING HEIGHT: 32' - 10"
SQUARE FEET: MAIN FLOOR: 21,600 S.F., SECOND LEVEL: 4,305 S.F.

CONSULTANTS

ARCHITECT:
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RAPID CITY, SOUTH DAKOTA 57701
CONTACT NAME: MIKE ALBERTSON

ABBREVIATIONS

ADA	-AMERICANS WITH DISABILITIES ACT	HDW	-HARDWARE
A.F.F.	-ABOVE FINISHED FLOOR	H.M.	-HOLLOW METAL
BD.	-BOARD	ISO	-ISOCYANURATE ROOF INSULATION (EXTRUDED)
BLG.	-BUILDING	LVL	-LAMINATED VENEER LUMBER
CJ	-CONTROL JOINT	MHO	-MAGNETIC HOLD OPEN
CONC.	-CONCRETE	N.I.C.	-NOT IN CONTRACT
CONT.	-CONTINUOUS	N.T.S.	-NOT TO SCALE
C.	-CENTERLINE	O.C.	-ON CENTER
DN	-DOWN	O.F.C.I.	-OWNER FURNISHED CONTRACTOR INSTALLED
DS	-DOWNSPOUT	O.T.S.	-OPEN TO STRUCTURE
EA.	-EACH	P.E.M.B.	-PRE-ENGINEERED METAL BUILDING
XPS	-EXTRUDED POLYSTYRENE	REV.	-REVERSE
EPS	-EXPANDED POLYSTYRENE	RM	-ROOM
FE	-FIRE EXTINGUISHER	R.S.	-ROUGH SAWN
FEC	-FIRE EXTINGUISHER & CABINET	SIM.	-SIMILAR
F., FL.	-FINISHED FLOOR	S.F.	-SQUARE FEET
FIN.	-FINISH	SS	-STAINLESS STEEL
F.O.G.	-FACE OF GYPSUM BOARD	STG.	-STORAGE
F.O.M.	-FACE OF MASONRY	T&G	-TONGUE & GROOVE
F.O.S.	-FACE OF STUD	TLT.	-TOILET
FRP	-FIBERGLASS REINFORCED PANEL	T.O.S.	-TOP OF STEEL
F.R.	-FIRE RESISTANCE	T.O.M.	-TOP OF MASONRY
FT.	-FOOT	TYP.	-TYPICAL
GA.	-GAUGE	U.N.O.	-UNLESS NOTED OTHERWISE
GALV.	-GALVANIZED	V.I.F.	-VERIFY INFIELD
G.C.	-GENERAL CONTRACTOR	VTR	-VENT THRU ROOF
GYP. BD.	-GYPSUM BOARD	W/	-WITH
H.C.	-HANDICAPPED	WWF	-WELDED WIRE FABRIC

NOTE: SEE INDIVIDUAL SHEETS FOR ADDITIONAL LEGENDS AND ABBREVIATIONS

MATERIALS LEGEND

EXISTING CONSTRUCTION	FINISHED WOOD IN SECTION
GRANULAR FILL	GLULAM WOOD IN SECTION
UNDISTURBED SOIL	RIGID INSULATION
SCARIFIED SUBGRADE SOIL	BATT OR ROLL INSULATION
NON-EXPANSIVE FILL	BLOWN-IN INSULATION
ENGINEERED FILL	GYPSUM BOARD IN SECTION
SAND BASE	DIMENSION LUMBER
CONCRETE IN SECTION	WOOD BLOCKING
MASONRY IN SECTION	STEEL STUDS (SHAPE VARIES)
STEEL IN SECTION (SHAPE VARIES)	STUD WALL IN PLAN/SECTION
PLYWOOD IN SECTION	

DRAWING SYMBOLS

WALL TYPES	ARROW INDICATES SIDE OF WALL WITH RESILIENT SOUND CHANNEL	WALL SECTION	SECTION #	SHEET #
COLUMN GRID	GRID #/LETTER	WINDOW NUMBER	WINDOW LETTER	
DETAIL CUT	DETAIL #	ROOM NAME	ROOM NAME	
DOOR NUMBER	DOOR #	ROOM NUMBER	ROOM #	
BUILDING SECTION	SECTION #	SPOT ELEVATION	ELEVATION	
INTERIOR ELEVATION	ELEVATION #	NORTH ARROW	DIRECTION	

SCHEDULE OF DRAWINGS

GENERAL INFORMATION

A0.00 TITLE SHEET & GENERAL INFORMATION

CIVIL

C1.0	EXISTING TOPOGRAPHIC MAP
C2.0	PHASE I DEMOLITION PLAN
C2.1	PHASE II DEMOLITION PLAN
C3.0	SITE LAYOUT
C4.0	SITE GRADING
C4.1	SITE GRADING PROFILES
C4.2	SITE GRADING PROFILES
C5.0	SITE UTILITIES
C5.1	UTILITIES PROFILES
C6.0	SITE DETAILS
C6.1	SITE DETAILS
C6.2	SITE DETAILS

STRUCTURAL

S0.10	STRUCTURAL GENERAL NOTES
S0.20	IBC INSPECTION TABLES
S0.30	IBC INSPECTION TABLES
S1.10	FOUNDATION PLAN
S2.10	MEZZANINE FRAMING PLAN
S3.10	STAIR CONNECTOR PLAN & ELEVATION
S3.20	STAIR CONNECTOR INTERIOR ELEVATION
S4.10	ELEVATOR PLANS & DETAILS, ALTERNATE #1
S5.10	SECTIONS
S5.20	SECTIONS
S5.30	SECTIONS
S5.40	RETAINING WALL SECTIONS
S6.10	TYPICAL DETAILS & SCHEDULES
S6.20	TYPICAL DETAILS & SCHEDULES CONT.

ARCHITECTURAL

A1.10	SITE PLAN
A3.10	CODE PLANS & REVIEW
A3.20	ORIENTATION PLAN & WALL TYPES
A3.30	MAIN LEVEL REFERENCE FLOOR PLAN
A3.40	MAIN LEVEL DIMENSION FLOOR PLAN
A3.50	SECOND LEVEL & ENLARGED FLOOR PLANS
A3.70	REFLECTED CEILING PLANS
A3.80	ROOF PLAN & DETAILS
A5.10	EXTERIOR ELEVATIONS
A6.10	BUILDING SECTIONS
A6.20	BUILDING SECTIONS
A7.10	WALL SECTIONS
A7.20	WALL SECTIONS
A8.10	STAIR PLANS, SECTIONS, DETAILS
A8.20	CONNECTOR STAIR PLANS, SECTIONS, DETAILS
A8.30	EXTERIOR STAIR PLANS, SECTIONS, DETAILS, & DOCK ELEV.
A8.40	LOADING DOCK SECTION
A8.50	ELEVATOR PLANS & SECTIONS
A9.10	FINISH FLOOR PLAN, INTERIOR FINISH SCHEDULE OF PRODUCTS
A9.15	ACCESSORIES LEGEND, TYPICAL CASEWORK DETAILS
A9.20	INTERIOR ELEVATIONS
A9.30	INTERIOR ELEVATIONS
A10.10	DOOR SCHEDULE, ELEVATIONS, & DETAILS
A10.20	DOOR DETAILS
A11.10	WINDOW ELEVATIONS & DETAILS

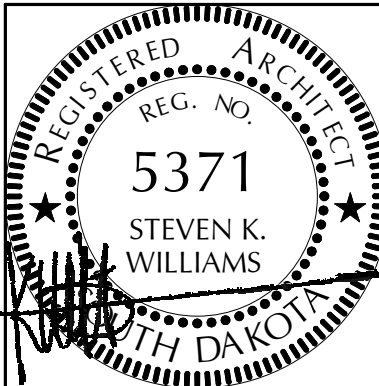
MECHANICAL

M1.10	MECHANICAL SITE PLAN
M2.10	MAIN LEVEL WASTE AND VENT PLAN
M3.10	MAIN LEVEL PLUMBING PLAN
M4.10	MAIN LEVEL HVAC PLAN
M5.10	SECOND LEVEL MECHANICAL PLANS
M6.10	MECHANICAL DETAILS & SYMBOLS
M7.10	MECHANICAL SCHEDULES

ELECTRICAL

E1.10	ELECTRICAL SITE PLAN
E2.10	MAIN LEVEL LIGHTING PLAN
E3.10	MAIN LEVEL POWER & SIGNAL PLAN
E4.10	SECOND LEVEL ELECTRICAL PLANS
E5.10	ELECTRICAL DETAILS
E6.10	ELECTRICAL SCHEDULES
E7.10	ELECTRICAL SYMBOLS & ABBREVIATIONS

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Project Title
SURF
MAINTENANCE SUPPORT FACILITY
630 E. SUMMIT STREET
LEAD, SOUTH DAKOTA 57754

Project No. 19-26
Issue Date T.B.D.
Print Stamp 2020-01-24 5:21:53 PM
Designed By SW
Drawn By MHL

Revision Schedule

Revision	Date

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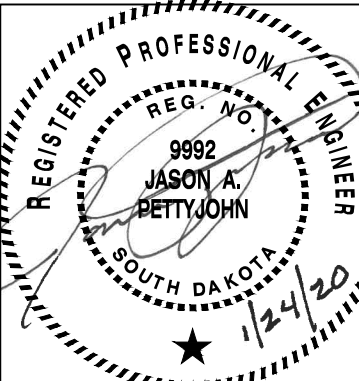
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Drawn By JRK

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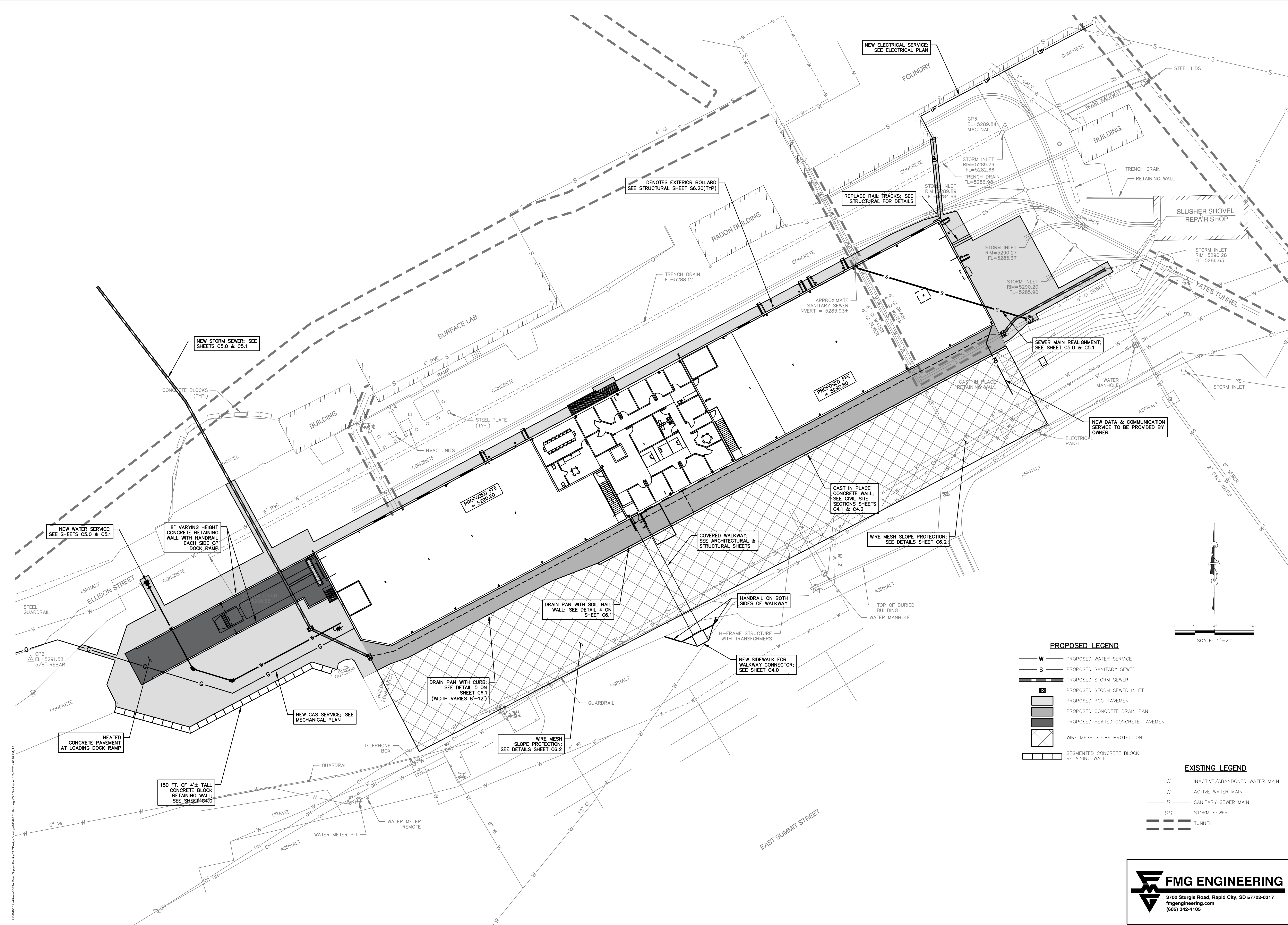
SITE LAYOUT

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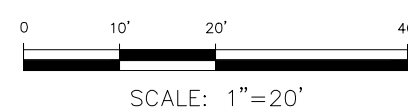


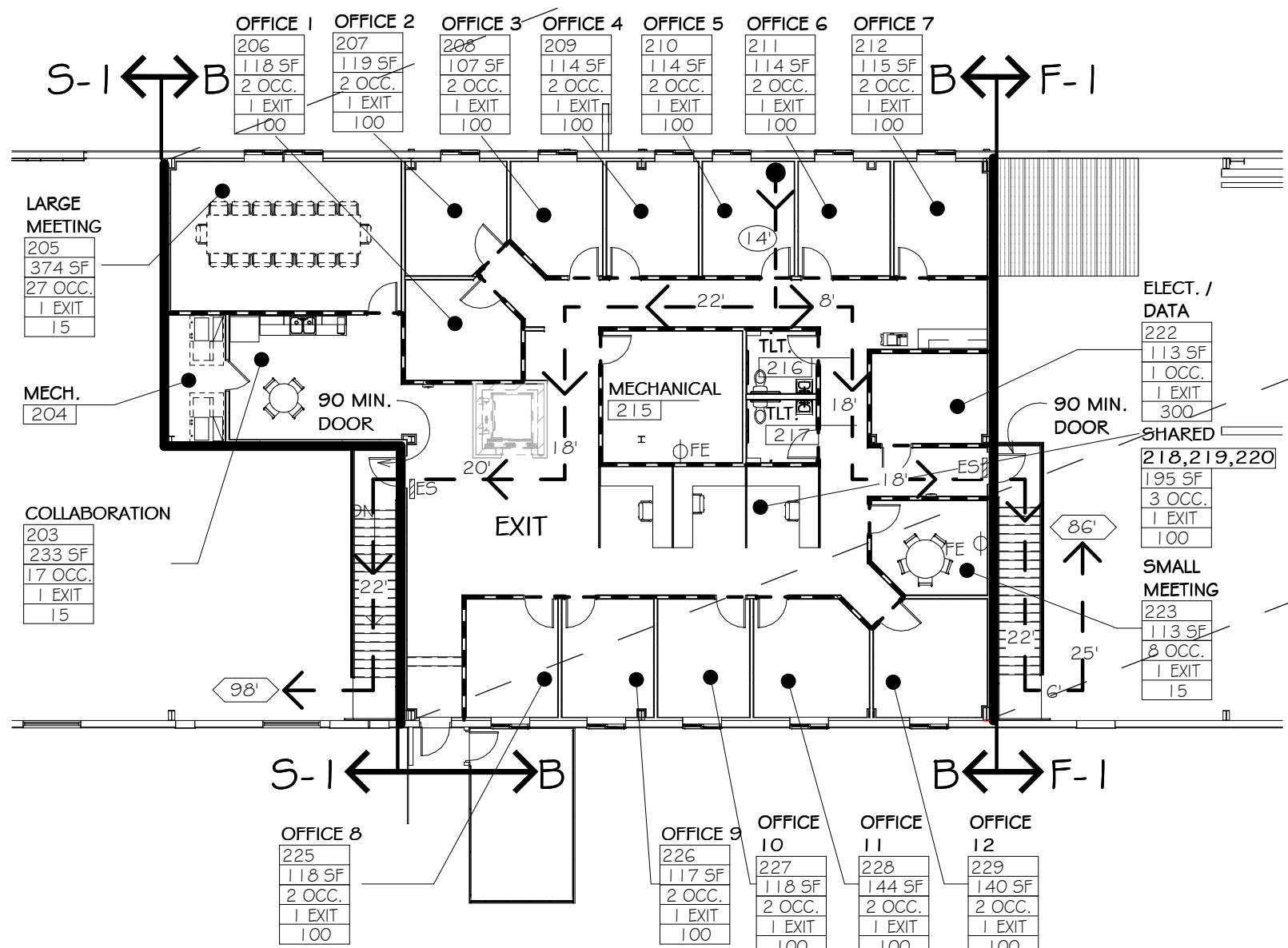
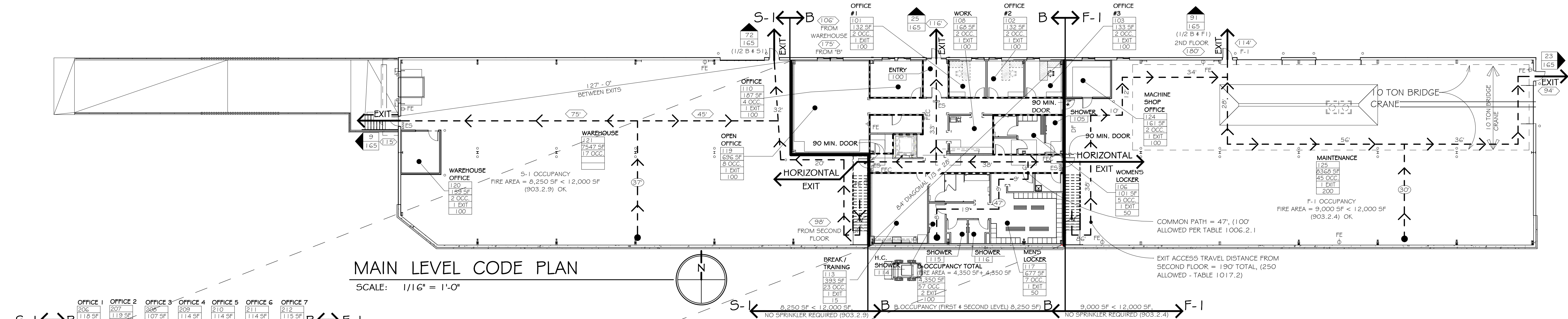
PROPOSED LEGEND

- W PROPOSED WATER SERVICE
- S PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER INLET
- PROPOSED PCC PAVEMENT
- PROPOSED CONCRETE DRAIN PAN
- PROPOSED HEATED CONCRETE PAVEMENT
- WIRE MESH SLOPE PROTECTION
- SEGMENTED CONCRETE BLOCK RETAINING WALL

EXISTING LEGEND

- W --- INACTIVE/ABANDONED WATER MAIN
- W ACTIVE WATER MAIN
- S SANITARY SEWER MAIN
- SS STORM SEWER
- T TUNNEL





SECOND LEVEL CODE PLAN

SCALE: 1/16" = 1'-0" TOTAL SECOND LEVEL OCCUPANT LOAD = 78 OCC.

BUILDING CODE REVIEW

SANFORD UNDERGROUND RESEARCH FACILITY
LEAD, SOUTH DAKOTA

APPLICABLE CODES - 2015 INTERNATIONAL BUILDING CODE

BUILDING INFORMATION

1. WAREHOUSE	=	8,250 SF
2. OFFICE (2 STORIES)	=	8,700 SF
3. MAINTENANCE	=	9,000 SF
TOTAL BUILDING AREA		25,950 SF

CHAPTER 3 OCCUPANCY - MIXED

1. WAREHOUSE	=	GROUP S-1, MODERATE HAZARD STORAGE
2. OFFICE	=	GROUP B, BUSINESS
3. MAINTENANCE	=	GROUP F-1, FACTORY

CHAPTER 4 SPECIAL DETAILED REQUIREMENTS

SECTION 413. COMBUSTIBLE STORAGE OK, PER INTERNATIONAL FIRE CODE SECTION 315

< 12" HIGH STORAGE RACKS (OK)
> 12" HIGH STORAGE RACKS = FIRE SPRINKLER SYSTEM REQUIRED
FIRE SPRINKLER SYSTEM PIPING INSTALLED - FINAL IMPLEMENTATION UPON SUFFICIENT WATER SERVICE

CHAPTER 5 GENERAL BUILDING HEIGHTS & AREAS

- CONSTRUCTION TYPE - II-B
- ALLOWABLE BUILDING HEIGHT - 55 FT. (ACTUAL = 32) (NON-SPRINKLERED)
- TABLE 504.4 (NUMBER OF STORIES ABOVE GRADE (NON-SPRINKLERED) TYPE II-B)
 - B = 3 STORIES ALLOWED (ACTUAL = TWO STORIES) OK
 - S-1 = 2 STORIES ALLOWED (ACTUAL = ONE STORY) OK
 - F-1 = 2 STORIES ALLOWED (ACTUAL = ONE STORY) OK
- BUILDING AREA ACTUAL = 25,950 SF
- TABLE 506.2 (FIRE SPRINKLER NOT PROVIDED)

OCCUPANCY	ACTUAL AREA	TYPE II-B (ALLOWED - 28,500 SF)
B	4,350 SF/FLOOR	OK
S-1	8,250 SF	OK
F-1	9,000 SF	OK

SECTION 508 MIXED USE AND OCCUPANCY

A. NON-SEPARATED OCCUPANCIES
-NO SEPARATION REQUIRED BETWEEN B & S-1, & F-1 (TABLE 508.4)

508.4 TABLE 508.4 - NO SEPARATION REQUIRED

SECTION 509 B. INCIDENTAL USES

N/A

SECTION 510 C. SPECIAL PROVISIONS

N/A

CHAPTER 6 TYPE OF CONSTRUCTION

TYPE OF CONSTRUCTION - TYPE II-B

TABLE 601 = NO RATING REQUIRED AT BUILDING ELEMENTS.

CHAPTER 7 FIRE AND SMOKE PROTECTION FEATURES

SECTION 704 FIRE RESISTANCE RATING OF STRUCTURAL MEMBERS N/A

SECTION 705 EXTERIOR WALL OPENINGS
TABLE 705.8 - GREATER THAN 30' NO LIMIT OF OPENINGS

SECTION 706	FIRE WALLS	N/A
SECTION 707	FIRE BARRIERS	PROVIDED TO LIMIT F-1 & S-1 FIRE AREAS TO LESS THAN 12,000 S.F. - THEREFORE NOT REQUIRING "AUTOMATIC SUPPRESSION SYSTEM" (SEE CHAPTER 9)
SECTION 708	FIRE PARTITIONS	AT CORRIDORS IN OFFICE AREAS
SECTION 709	SMOKE BARRIERS	N/A
SECTION 710	SMOKE PARTITIONS	N/A
SECTION 711	HORIZONTAL ASSEMBLIES	N/A
SECTION 712	VERTICAL OPENINGS	N/A
SECTION 713	SHAFT ENCLOSURES	N/A

CHAPTER 8 INTERIOR FINISHES COMPLY

CHAPTER 9 FIRE PROTECTION SYSTEMS

SECTION 903	AUTOMATIC SPRINKLER SYSTEM - INSTALLED BUT NOT INITIALLY IMPLEMENTED, SEE "NOTE" @ CODE PLAN & SECTION 707 ABOVE	
903.2.4	GROUP F-1 NOT NECESSARY, F-1 FIRE AREA DOES NOT EXCEED 12,000 S.F.	
903.2.9	GROUP S-1 NOT NECESSARY, S-1 FIRE AREA DOES NOT EXCEED 12,000 S.F.	
903.2.11.1.2	"OPENINGS ON ONE SIDE ONLY" - DISTANCE FROM FRONT WALL TO BACK WALL IS LESS THAN 75'	OK
SECTION 906	PORTABLE FIRE EXTINGUISHERS TABLE 906.3 (1) 1. PROVIDE TYPE 2-A RATED EXTINGUISHERS AS INDICATED 2. ONE 2-A PER 6,000 SF OF FLOOR AREA (SEE PLAN) 3. < 75' BETWEEN EXTINGUISHERS 4. 5 REQUIRED - 11 PROVIDED OK (SEE PLAN)	
SECTION 907	FIRE ALARM AND DETECTION SYSTEMS	
907.2	FIRE ALARM & DETECTION PROVIDED	
907.2.2	PROVIDED THROUGHOUT	

CHAPTER 10 MEANS OF EGRESS

SECTION 1003	GENERAL MEANS OF EGRESS	
1003.2	CEILING HEIGHT OK	
1003.3	PROTRUDING OBJECTS OK	
1003.5	ELEVATION CHANGE LIMITED TO $\pm 1/8$ / FT. AT TRUCK BAYS SLOPE TO TRENCH DRAINS OK	
1003.6	MEANS OF EGRESS CONTINUITY OK	
SECTION 1004	OCCUPANT LOAD OCCUPANT LOAD FACTORS, IBC TABLE 1004.1.2: (UNLESS NOTED OTHERWISE, FLOOR AREA SQ. FT. PER OCCUPANT) (SEE CODE PLAN)	

CHAPTER 29 PLUMBING FIXTURES

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES - TABLE 2902.1

BUSINESS, S-1 & F-1 OCCUPANCY

- PLUMBING LOAD COUNT DOES NOT INCLUDE BUILDING SUPPORT SPACES

197 TOTAL BUILDING OCCUPANTS

158 MALES: (80%) - (USE "B" = WORST CASE SCENARIO)	
WATER CLOSETS	3 REQUIRED
URINALS	0 REQUIRED
LAVS	2 REQUIRED
39 FEMALES: (20%) - (INCLUDES NEUTRAL RESTROOM @ SECOND FLOOR)	
WATER CLOSETS	1 REQUIRED
LAVS	1 REQUIRED
OTHER:	
DRINKING FOUNTAIN	1 REQUIRED
SERVICE SINK	1 REQUIRED

NOTE:

THE PROPOSED BUILDING IS DESIGNED TO BE FULLY CODE COMPLIANT WITHOUT AN "AUTOMATIC SPRINKLER SYSTEM". THE CURRENT WATER SERVICE DOES NOT SUPPORT AN AUTOMATIC SPRINKLER SYSTEM. UPGRADE TO THE WATER SERVICE IS IN PLANNING STAGES. THE UPGRADED WATER SERVICE WILL SUPPORT AN AUTOMATIC SUPPRESSION SYSTEM. COMPONENTS OF AN "AUTOMATIC SUPPRESSION SYSTEM" WILL BE INSTALLED AS A PART OF THIS PROJECT IN ANTICIPATION OF ULTIMATELY PROVIDING AN NFPA 13-COMPLIANT AUTOMATIC SUPPRESSION SYSTEM FOR ALL PARTS OF THE STRUCTURE.

ASSEMBLY UNCONCENTRATED (TABLES AND CHAIRS):

BUSINESS (OFFICE) AREAS:
ACCESSORY STORAGE AREAS, MECHANICAL / ELECTRICAL ROOMS:
WAREHOUSES:
FABRICATION & MANUFACTURING:

15 NET
100 GROSS
300 GROSS
500 GROSS
200 GROSS

BUSINESS AREA MAIN LEVEL
BUSINESS AREA SECOND LEVEL
S-1 AREA MAIN LEVEL
F-1 AREA MAIN LEVEL
TOTAL OCC. = 197 OCC.

MEANS OF EGRESS SIZING

OTHER EGRESS COMPONENTS
120 X .2 INCHES = 24 INCHES TOTAL
(ALL EXIT DOORS 36" MIN) 5 PROVIDED OK

CONTINUITY OK

DISTRIBUTION OF MINIMUM WIDTH OK

ENCROACHMENT OK

OTHER PROJECTIONS OK

NUMBER OF EXITS & EXIT ACCESS DOORWAYS

TABLE 1006.2.1
B - OCCUPANCY, 2 EXITS REQUIRED - 3 EXITS PROVIDED OK
S - OCCUPANCY, 1 EXIT REQUIRED - 2 EXITS PROVIDED OK
F - OCCUPANCY, 1 EXIT REQUIRED - 2 EXITS PROVIDED OK
COMMON PATH = 42' PROPOSED
100' ALLOWED IBC TABLE 1006.2.1 OK

EXIT AND EXIT ACCESS DOORWAY CONFIGURATION
SEPARATION GREATER THAN 1/3 MAX DIAGONAL (AT OVERALL BUILDING, AT S-1, F-1 AND B) OK

MEAN OF EGRESS ILLUMINATION OK
- SEE ELECTRICAL

ACCESSIBLE MEANS OF EGRESS

- ACCESSIBLE MEANS OF EGRESS PROVIDED AT EGRESS DOORS (4 OF 5 EGRESS DOORS) (4 TOTAL) OK

DOORS, GATES, AND TURNSTILES

SIZE OF DOORS
- ALL EGRESS DOORS ARE 36" OK

DOOR SWING
ALL EXIT DOORS SWING IN DIRECTION OF EGRESS OK

LANDINGS AT DOORS OK

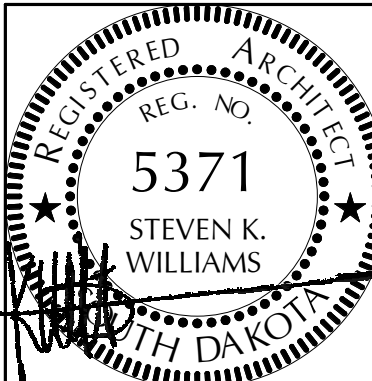
DOOR ARRANGEMENT OK

DOOR OPERATIONS
- SEE DOOR SCHEDULE & HARDWARE SCHEDULE OK

CODE LEGEND

X XXX	COMBINED OCCUPANT LOAD AT A GIVEN DOOR (SUM OF THESE EQUALS TOTAL OCCUPANT LOAD)
ROOM NAME XXX	ROOM NAME
320 S.F. 15 OCC. 1 EXIT 300	ROOM / SPACE SQUARE FOOTAGE OCCUPANT LOAD (MAY INCLUDE INDIVIDUAL ROOM OR A GROSS AREA CALCULATION FOR SEPARATE ROOMS) NUMBER OF EXITS REQUIRED OCCUPANT LOAD FACTOR (TABLE 1004.1.2)
XXX	EXIT ACCESS TRAVEL DISTANCE - IBC 1017.2
XX	ONE-HOUR RATED FIRE PARTITION
XX	THREE-HOUR FIRE BARRIER (8" C.M.U., GROUTED FULL)
XX	COMMON PATH - IBC 1006.2.1
25'	TRAVEL DISTANCE INDICATION (COMMON PATH & EXIT ACCESS TRAVEL DISTANCE)
EXIT SIGN / LIGHT	EXIT SIGN / LIGHT
FEC	FIRE EXTINGUISHER CABINET
FE	WALL MOUNTED FIRE EXTINGUISHER
DF	DRINKING FOUNTAIN

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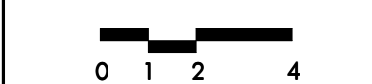
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Revision Schedule

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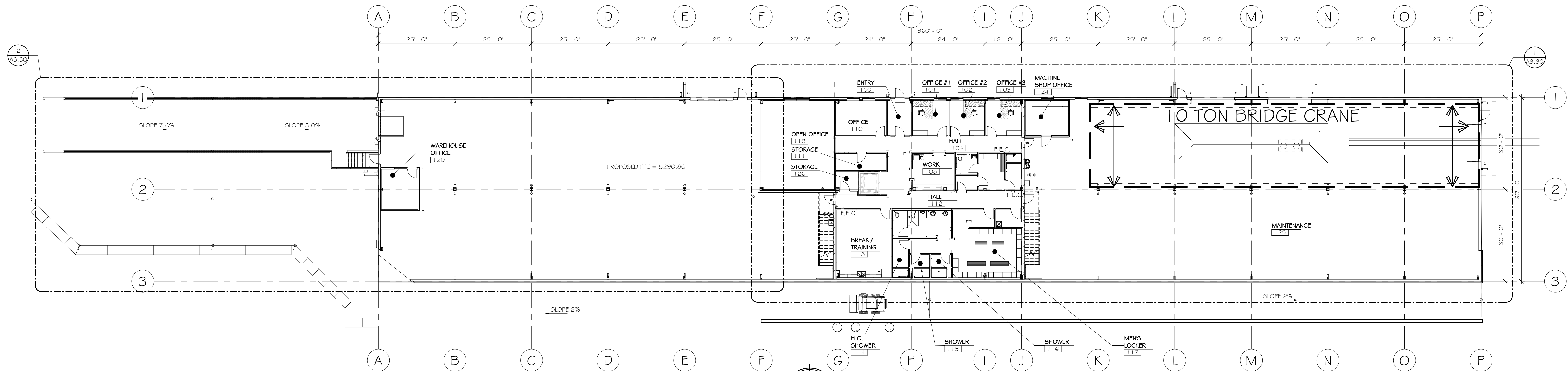


Sheet Title

CODE PLANS &
REVIEW

Sheet Number

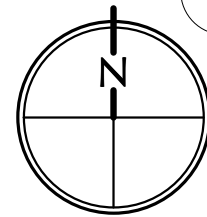
A3.10



MAIN LEVEL ORIENTATION PLAN

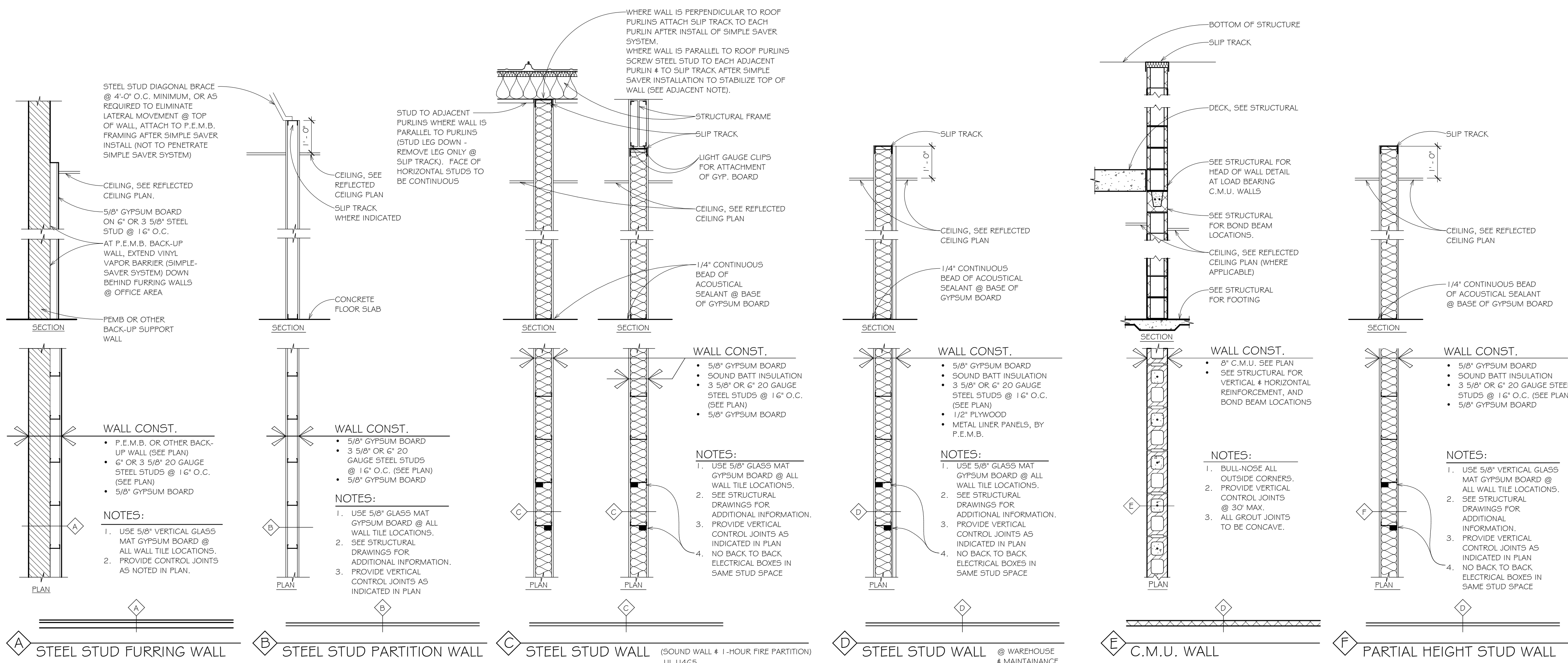
SCALE: 1/16" = 1'-0"

TOTAL MAIN LEVEL 360' X 60'	= 21,600 SF
MAIN LEVEL OFFICE	= 4,300 SF
MAIN LEVEL WAREHOUSE	= 8,300 SF
MAIN LEVEL MAINTENANCE	= 9,000 SF
UPPER LEVEL OFFICE	= 4,300 SF
TOTAL USEABLE SPACE	= 25,900 SF



LEGEND

	FURNITURE (N.I.C)		STEEL PIPE BOLLARD
	LOWER CABINET		CANOPY OVERHANG
	UPPER CABINET		
	SINK		
	SHOWER		



2 WALL TYPES

SCALE: 1/2" = 1'-0"

SEE SHEETS A3.40 & A3.50 FOR WALL TYPE LOCATIONS



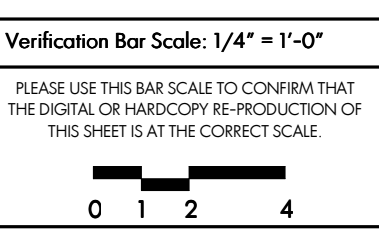
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Project Title
SURF
MAINTENANCE SUPPORT FACILITY
630 E. SUMMIT STREET
LEAD, SOUTH DAKOTA 57754

Project No.	19-26
Issue Date	T.B.D.
Print Stamp	2020-01-24 4:46:52 PM
Designed By	SW
Drawn By	MHL

Revision Schedule

Revision	Date

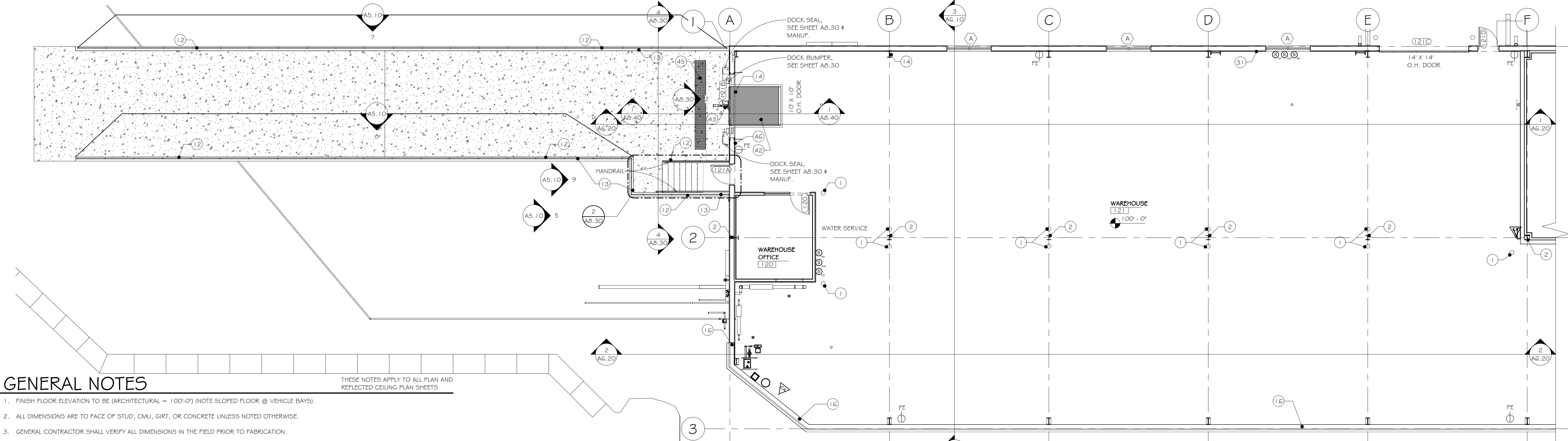


Sheet Title

ORIENTATION PLAN
WALL TYPE

Sheet Number

A3.20



GENERAL NOTES

1. FINISH FLOOR ELEVATION TO BE (ARCHITECTURAL = 1'00'-0") (NOTE SLOPED FLOOR @ VEHICLE BAYS).
2. ALL DIMENSIONS ARE TO FACE OF STUD, CMU, GIRT, OR CONCRETE UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
4. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE PROJECT AS PART OF THE CONTRACT.
5. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
6. GENERAL CONTRACTOR SHALL PROVIDE A COMPLETE AND PROPER EXECUTION OF THE WORK AS INDICATED ON ALL DRAWINGS. IF ERRORS IN LAYOUT DIMENSIONS OR DETAILS ARE FOUND BETWEEN ARCHITECTURAL, MECHANICAL, OR ELECTRICAL DRAWINGS, CONTACT THE ARCHITECT IMMEDIATELY.
7. GENERAL CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO COORDINATE WITH THE OWNER'S WORK AND/OR SUPPLIED ITEMS THAT ARE "OWNER FURNISHED CONTRACTOR INSTALLED" (O.F.C.I.) OR ARE "NOT IN CONTRACT" (N.I.C.) BUT ARE ATTACHED TO THE CONTRACTORS WORK.
8. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING, FRAMING, OR BRACING FOR WALL/CEILING MOUNTED EQUIPMENT, FIXTURES, AND HARDWARE (IN CONTRACT & O.F.C.I., OR N.I.C.).
9. ALL LARGER SCALE DRAWINGS AND DETAILS GOVERN OR SUPERSEDE ALL SMALLER SCALE DRAWINGS AND DETAILS.
10. PROVIDE GYPSUM BOARD EXPANSION JOINTS AS INDICATED IN PLAN.
11. WATER RESISTANT GYPSUM BOARD SHALL BE INSTALLED IN ALL RESTROOMS AND JANITOR CLOSET AREAS. PROVIDE CEMENTITIOUS OR FIBERGLASS BACKER BOARD BEHIND WALL TILE AREAS (TYPICAL).
12. HINGE SIDE DOOR FRAME SHALL BE 4" FROM ADJACENT PERPENDICULAR WALL UNLESS DIMENSIONED OTHERWISE.
13. EACH CONTRACTOR AND SUB-CONTRACTOR OR TRADE IS REQUIRED TO REVIEW THE CONSTRUCTION DOCUMENTS AS A WHOLE, INCLUDING ALL OTHER TRADES DRAWINGS AND PROVIDE ANY MISC. ITEMS, MATERIALS, WORK, ETC. REQUIRED TO COMPLETE THE WORK AS SHOWN ON ALL DOCUMENTS. THIS REQUIREMENT APPLIES TO ALL TRADES. GENERAL CONSTRUCTION, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, EQUIPMENT VENDORS, ETC. REQUIREMENTS AND RELATED WORK ARE INDICATED THROUGHOUT THE DOCUMENTS AND SHOULD BE REVIEWED WITH THE SPECIFIC MEP, STRUCTURAL, ARCHITECTURAL, AND EQUIPMENT DRAWINGS FOR OVERALL SCOPE OF WORK.

KEYNOTES

1. PROVIDE STEEL 8" BOLLARD PAINTED SAFETY YELLOW, RE: STRUCT. FOR DETAILS
2. FEMR COLUMN (TYP), SEE STRUCTURAL
3. FURRED OUT 3/8" STEEL STUD WALL
4. STEEL/CONCRETE PAN STAIRS W/ GUARD & HAND RAILS
5. WASH FOUNTAIN (SEE MECH)
6. EYE WASH-SHOWER STATION
7. (2) 42" STEEL GUARDRAIL @ CONCRETE RETAINING WALL
8. CONCRETE RETAINING WALL, SEE CIVIL
9. O.H. DOOR, SEE DOOR SCHEDULE & ELEVATIONS
10. THERMOMASS CONCRETE FOUNDATION WALL (SEE STRUCTURAL)
11. METAL RIGID FRAME
12. FIRE EXTINGUISHER CABINET - SEE G-9.15
13. BENCH, TYPICAL
14. 18" x 21" LOCKERS, TYPICAL
15. TRACK RAILS TO MATCH EXISTING (OWNER TO PROVIDE RAILS) SEE STRUCTURAL
16. PRE-FINISHED METAL PANELS BY F.E.M.B. MANUFACTURER
17. 6" STEEL STUD FURRING WALL
18. LOADING DOCK LEVELER
19. VEHICLE RESTRAINT/DOCK LOCK
20. PROVIDE RECESSED FLOOR TO ACCOMMODATE ADA SHOWER (SEE MECH. / STRUCT.)
21. TRENCH DRAIN (SEE MECH. / STRUCT.)
22. OHID LIFT LOCATION (IE VERTICAL)
23. SAND & WASTE TRAP/INTERCEPTOR, SEE MECH.

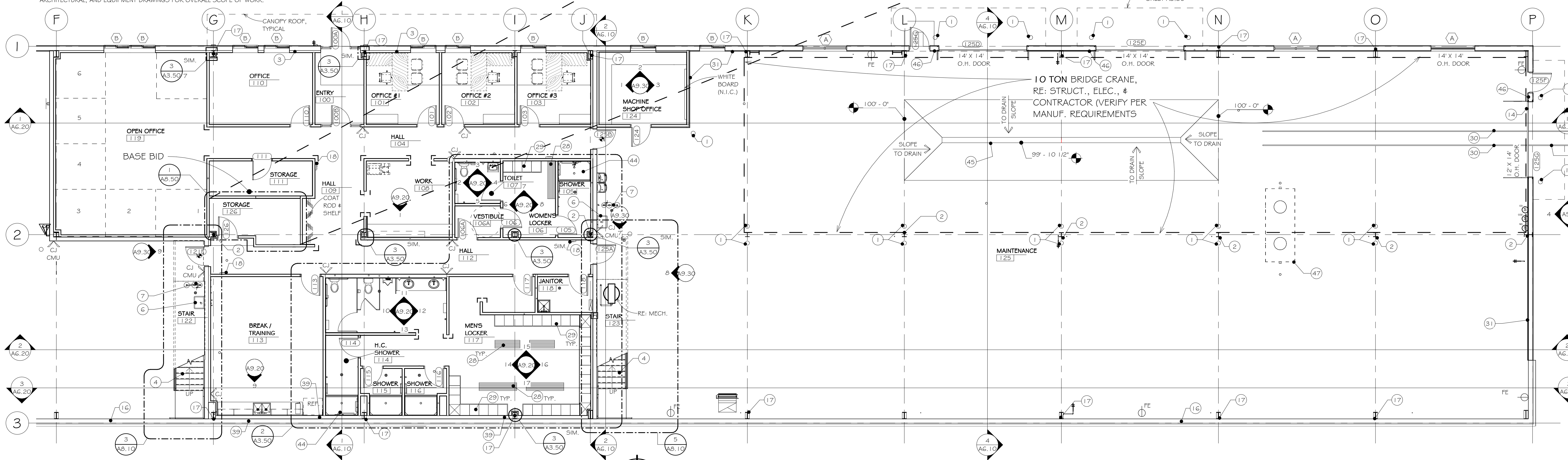
MAIN LEVEL REFERENCE PLAN - WEST

SCALE: 1/8" = 1'-0"

LEGEND

- | | | | | | |
|--|--------------------|--|---------------------------------------|--|--|
| | FURNITURE (N.I.C.) | | STEEL PIPE BOLLARD | | CONTROL JOINT SEE F-A9.15 |
| | CANOPY OVERHANG | | WALL-HUNG FIRE EXTINGUISHER | | FLOOR DRAIN, LOCATED 1/4" LOWER THAN FINISH FLOOR, SEE THE MECHANICAL DRAWINGS |
| | CORNER GUARD | | F.E. CABINET W/ EXTINGUISHER (G-9.15) | | SHOWER |
| | LOWER CABINET | | FIRE PARTITION | | |
| | UPPER CABINET | | | | |
| | SINK | | | | |

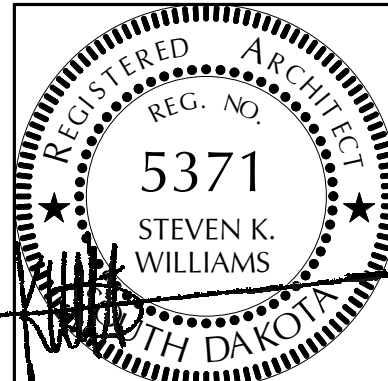
BID ALTERNATE #1
(INSTALL ELEVATOR)
SEE SHEET A8.40 FOR
PLANS & SECTIONS



MAIN LEVEL REFERENCE PLAN - EAST

SCALE: 1/8" = 1'-0"

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Designed By SW
Drawn By MHL

Revision Schedule

Revision	Date

Verification Bar Scale: 1/4" = 1'-0"
PLEASE USE THIS BAR SCALE TO CONFIRM THAT
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THIS SHEET IS AT THE CORRECT SCALE.
0 1 2 4

Sheet Title

MAIN LEVEL
REFERENCE FLOOR
PLAN

Sheet Number

A3.30