



Maintenance Shop Concept Design

WILLIAMS &
ASSOCIATES
ARCHITECTURE, INC.

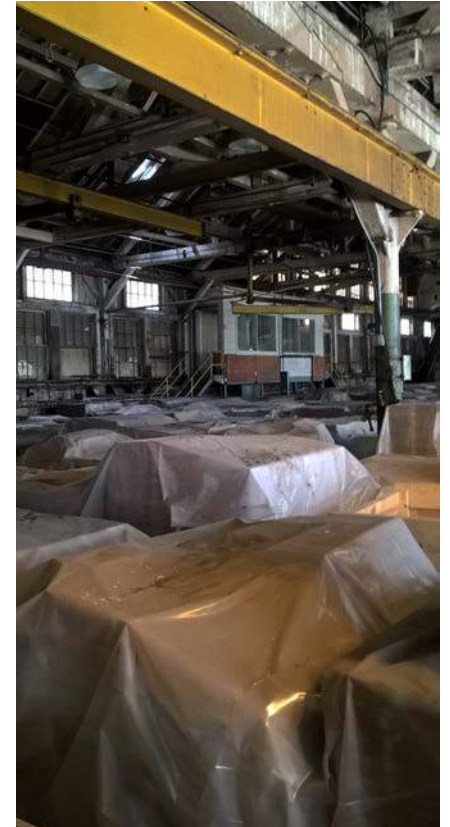


Goal

A historically sympathetic design solution that seamlessly and efficiently provides a practical and functional facility will occupy essentially the same footprint as the existing machine shop, motor repair, blacksmith shop and iron house. Fundamental areas will include a warehouse/storage, office and support space, and motor repair/machine shop.

Conceptual Space Program

Area	Space	Net SF Area
Warehouse		
	Main Storage Area	6,000
	Dock Unloading Area	1,600
	Warehouse Office	168
	Net Area Subtotal	7,768
Support		
	Private Offices (3)	432
	Shared Office (6 Workstations)	240
	Break/Training Room	350
	Common Admin. Work Area	144
	Men's Locker Room	200
	Men's Showers (3)	150
	Men's Restroom (Multiple Occupants)	180
	Women's Locker Room	120
	Women's Showers	50
	Women's Restroom (Single Occupancy)	64
	Electrical Data Room	100
	Housekeeping	100
	General Storage	150
	Mechanical Space (Mezzanine Area)	240
	Net Area Subtotal	2,520
	Net to Gross Adjustment - Hallways, Wall Thickness, etc. (32% of Subtotal)	806
	Support Subtotal	3,326
Machine Shop/Motor Repair		
	Shop Restroom	64
	Shop Office	144
	Hazardous Storage	180
	Snow Removal Equipment (4 Bays)	1,152
	Shop Area	12,000
	Net Area Subtotal	13,540
Total Proposed		24,634



Existing Conditions

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Page 3



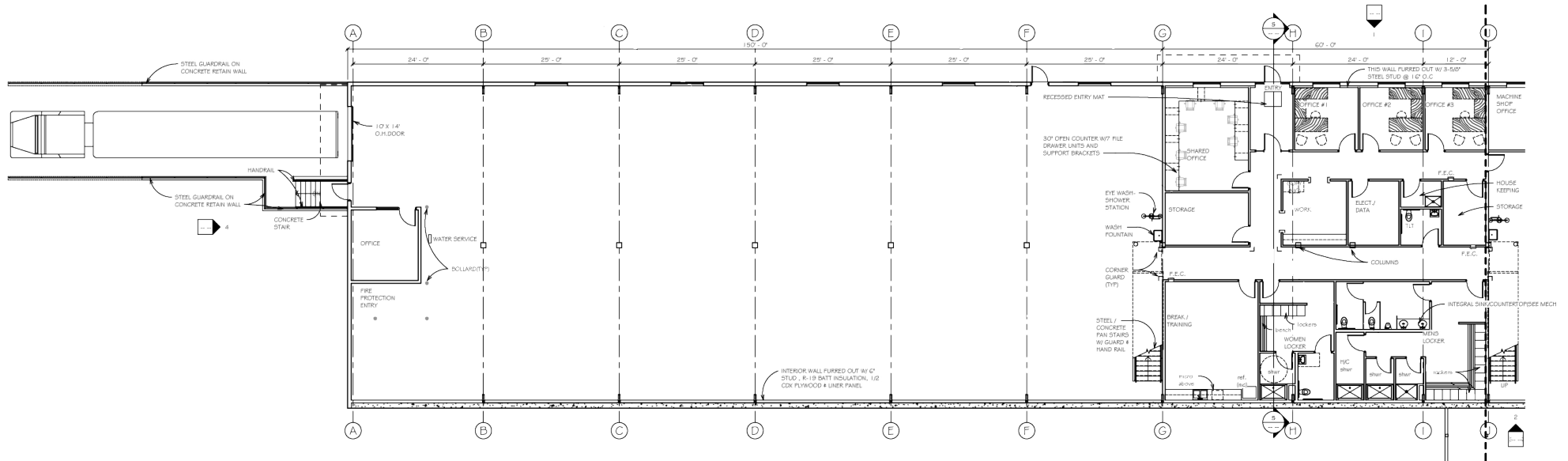
VICINITY MAP / SITE ACCESS PLAN

Vicinity Map

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PROPOSED SITE PLAN





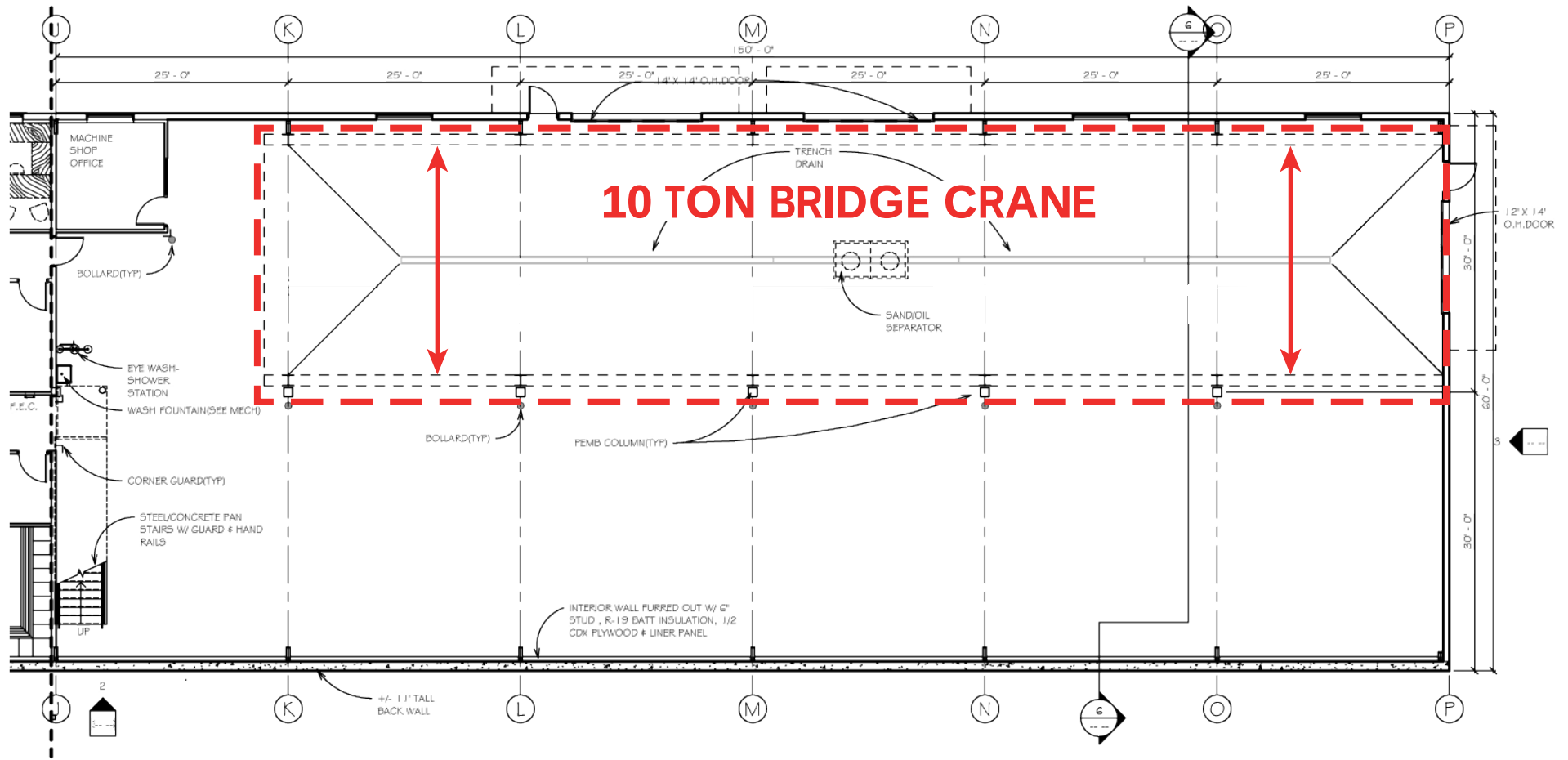
FIRST FLOOR PLAN - WEST

SCALE: N.T.S.

TOTAL FIRST FLOOR BUILDING AREA: 21,600 S.F.

Floor Plan - First Floor West

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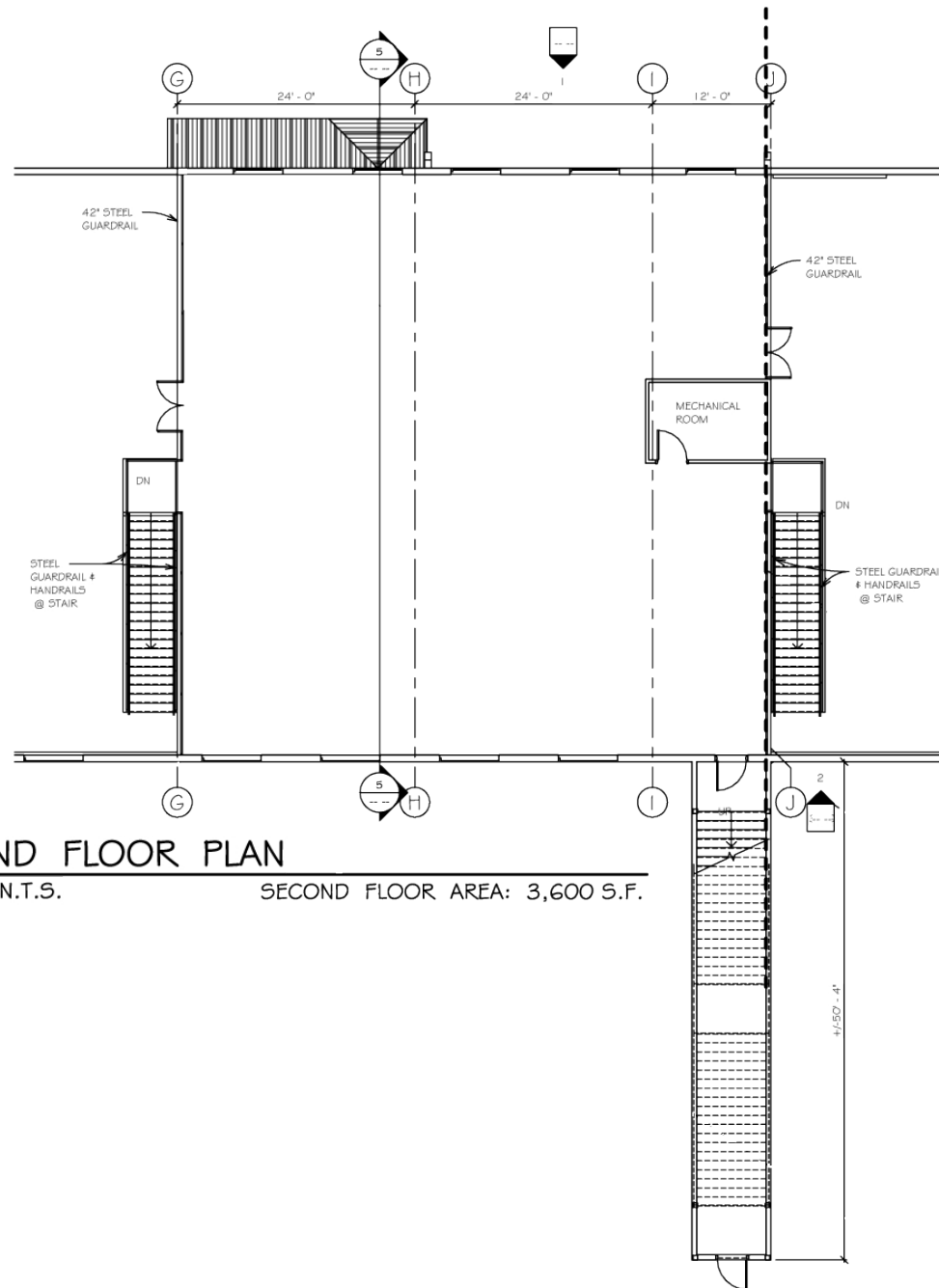
FIRST FLOOR PLAN - EAST

SCALE: N.T.S.

TOTAL FIRST FLOOR BUILDING AREA: 21,600 S.F.

Floor Plan - First Floor East

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SECOND FLOOR PLAN

SCALE: N.T.S.

SECOND FLOOR AREA: 3,600 S.F.

Floor Plan - Second Floor

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CONCEPTUAL BUILDING & CODE EVALUATION INFORMATION

A- BUILDING AREA

- FIRST FLOOR = 21,600 SF.
- SECOND FLOOR = 3600 SF.

B- TYPE OF CONSTRUCTION

- TYPE II - B W/ FIRE SPRINKLER

C- OCCUPANCY TYPES ALLOWABLE BLDG. AREA ACTUAL AREA

"WAREHOUSE" = S-I	17,500 SF.	9,000 SF. + 3600 (SECOND FLOOR)
"MAINTENANCE" = F-I	15,500 SF.	9,000 SF.
"OFFICE/SUPPORT" = B	23,000 SF.	3600 SF.

D- FIRE PROTECTION SYSTEM PROVIDED THROUGHOUT(NFPA 13 W/ FIRE PUMP)
(REQUIRED DUE TO 903.2.9-4(FIRE AREA FOR STORAGE OF COMMERCIAL VEHICLES >5000 SF.)

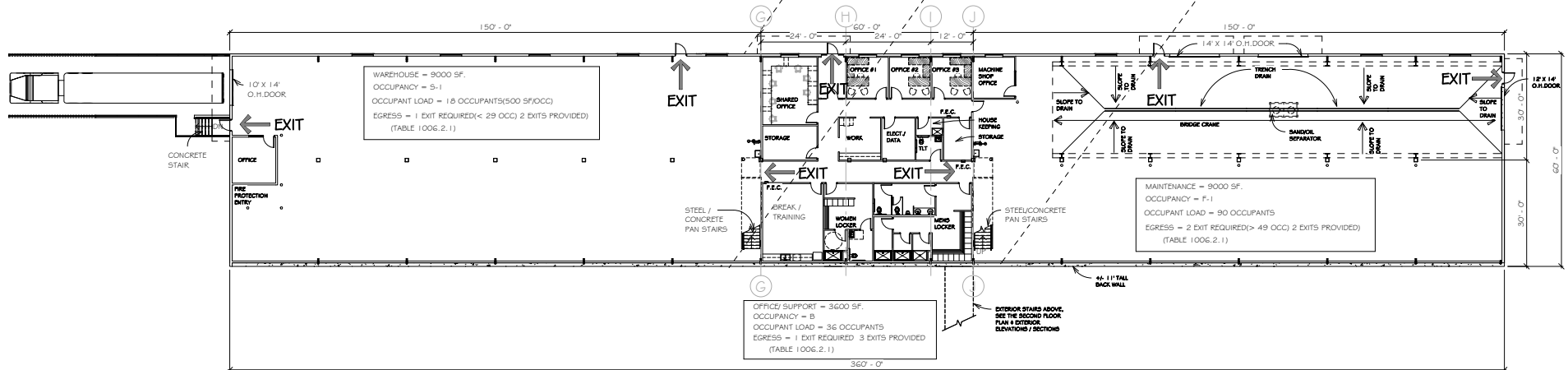
E- OCCUPANCY SEPARATION - NOT REQUIRED PER TABLE 508.4

F- EGRESS (SEE PLAN) - OK

G- COMMON PATH OF TRAVEL - OK

SECOND FLOOR.

SCALE: 1/16" = 1'-0" SECOND FLOOR AREA: 3,600 S.F.



FIRST FLOOR

SCALE: N.T.S.

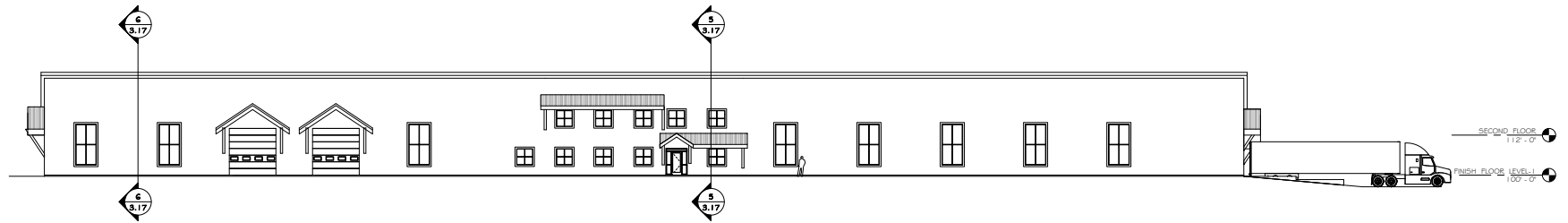
2015 IBC CODE EVALUATION

TOTAL FIRST FLOOR BUILDING AREA: 21,600 S.F.

Code Plan

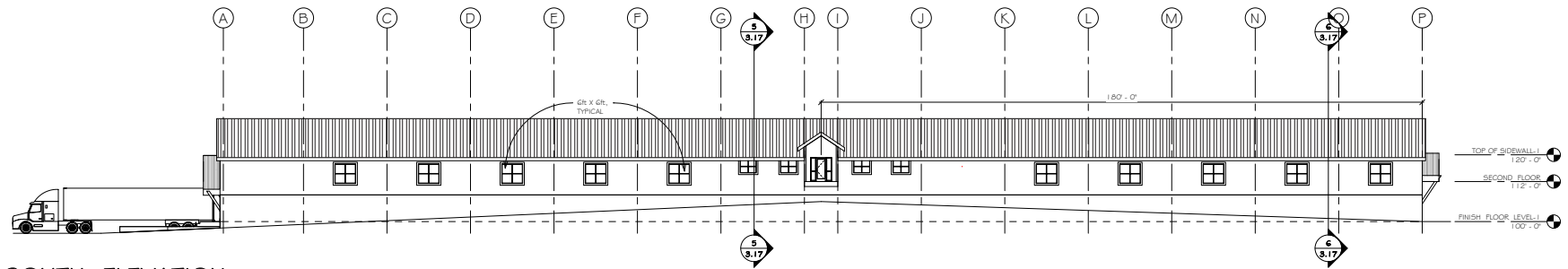
SURF Maintenance Building Concept Design

Page 9



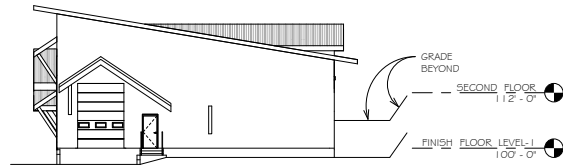
NORTH ELEVATION

SCALE: N.T.S.



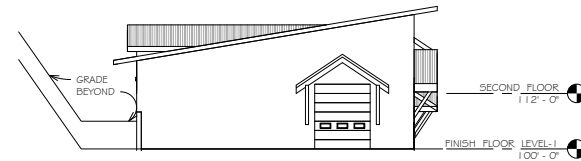
SOUTH ELEVATION

SCALE: N.T.S.



WEST ELEVATION

SCALE: N.T.S.



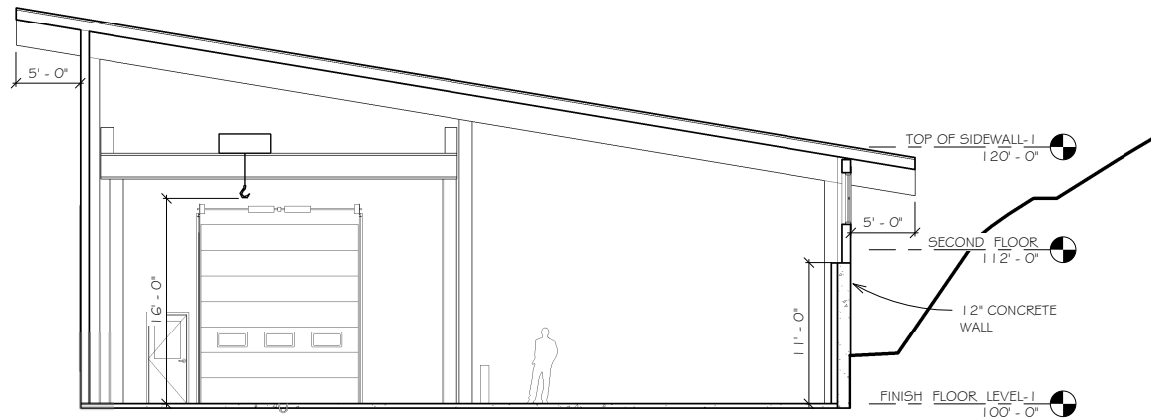
EAST ELEVATION

SCALE: N.T.S.

Exterior Elevations

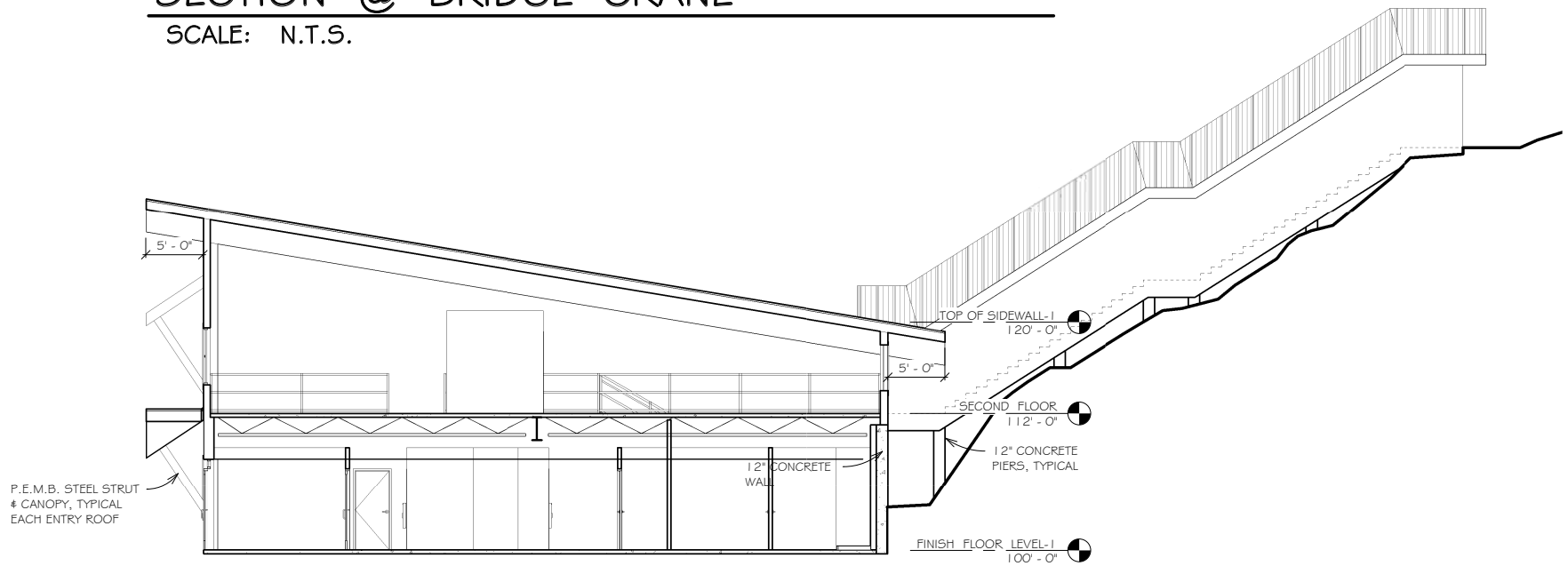
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Page 10



SECTION @ BRIDGE CRANE

SCALE: N.T.S.



SECTION @ 2-STORY

SCALE: N.T.S.

Building Sections

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Exterior Perspective - View Looking Southwest



Exterior Perspective - View Looking Northeast